



CANYON } RIDGE
CHAMA, NEW MEXICO

DESIGN GUIDELINES



March 1, 2009



December 23, 2008

Dear Canyon Ridge Property Owner,

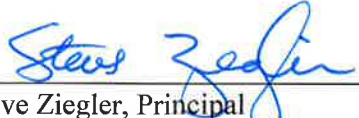
The 5700 acres of pristine, high alpine landscape known as Canyon Ridge is envisioned as a unique property where the design of what is built in the environment respects and blends harmoniously with nature. To that end the selection of materials and the manner in which they are put together to create the homes and community structures at Canyon Ridge must be carefully managed to realize this goal. The Canyon Ridge *Design Guidelines* have been created as the guiding document for property owners and the Home Owners Association to establish an orderly design and construction process consistent with the Canyon Ridge vision.

The Canyon Ridge *Design Review Board* has been established to implement the Design Guidelines at Canyon Ridge and to assist property owners in the planning and building of their homes. The design review and approval process at Canyon Ridge is more proactive than most communities and is focused on assisting rather than hindering property owners in the design and construction of the homes.

The Design Guidelines and the review process focus on the following goals:

- Ensure that each home is designed in the spirit of protection of natural systems and conservation of natural and energy resources.
- Respect the natural flora and fauna through sensitive placement of structures on the land.
- Construct with natural materials and colors that blend into the existing landscape.
- Respect the regional architectural vernacular and styles that blend with the land and other structures in the community.
- Preserve property owners' values by ensuring that each new home respects the guidelines by employing careful material selection and sound construction quality.
- Ensure construction quality with the establishment of a Design Review Board which evaluates and approves architects and builders desiring to work in the community.

We look forward to meeting with you to assist in the exciting process of planning your new home at Canyon Ridge. If you have any questions regarding the *Guidelines* or the *Review Process* please do not hesitate to contact us.

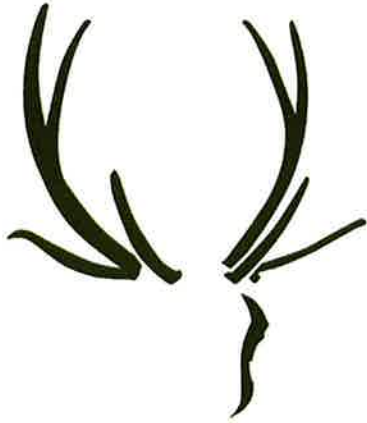

Steve Ziegler, Principal


Mike Plant, Principal

Rare Earth, New Mexico LLC

SECTION 1

CANYON RIDGE



Introduction

SECTION 1

INTRODUCTION

The Design Guidelines have been created to guide the design and construction of homes and community structures in the Canyon Ridge Community. They expand upon the *Design Standards* and *Use Restrictions* in the *Declaration of Covenants, Conditions and Restrictions For Canyon Ridge*. The guidelines are founded upon the principles of conservation, preservation of property values, and the enjoyment of the property by the owners and their guests. They establish the community design and construction standards and the process of administering the standards through the Design Review Board (DRB).

The Design Guidelines document is divided into six sections:

Section 1- Introduction

This section includes the definitions used throughout the guidelines document and describes the community design philosophy, principles, and objectives.

Section 2- Design Review Process

This section describes the process of preparing and submitting home plans and documents to the DRB for construction approval.

Section 3- Site Design Standards

This section describes the design standards related to siting of the homes, vegetation removal, grading and drainage, vehicular and pedestrian access and circulation, recreational spaces, landscape structures and plantings.

Section 4- Building Design Standards

This section describes the design standards related to the architectural styles, materials, colors, and construction techniques for homes, guest cottages, and ancillary structures.

Section 5- Landscape Standards

This section describes Xeriscape and Firewise landscape techniques and provides a plant list appropriate to Canyon Ridge.

Section 6- Construction Standards

This section describes the standards that regulate the construction activities of builders and contractors to minimize the impact of new construction on existing residents' enjoyment of the property.

Section 7- Appendices

1.1 Design Guidelines Authority

The Canyon Ridge Design Guidelines, the Design Review Board, and the Design Review Process are authorized by Article 9 in *The Declaration of Covenants, Conditions, and Restrictions for Canyon Ridge*:

- Article 9.1 General
- Article 9.2 Design Review Board
- Article 9.3 Guidelines and Procedures
 - 9.3a Design Guidelines
 - 9.3b Procedures
 - 9.3c Delinquent Assessments and Other Charges
- Article 9.4 Architect, Builder, and General Contractor Approval
- Article 9.5 Specific Guidelines and Restrictions
 - 9.5a Exterior Structures and Improvements
 - 9.5b Other Specific Restrictions
- Article 9.6 Construction Period
- Article 9.7 No Waiver of Future Approvals
- Article 9.8 Variance
- Article 9.9 Limitation of Liability
- Article 9.10 Enforcement

Definitions applicable to the Design Guidelines are found in Article 1

1.2 Guideline Objectives

The primary objective of the Guidelines is to provide a set of design and construction standards to provide an orderly process for the design and construction of new homes in the community. The Guidelines are rooted in a basic philosophy that the built environment can coexist with nature with minimal impacts if sensitive design and construction principles are applied. Those principles are embraced and described throughout the Guidelines document.

In addition to encouraging environmentally sensitive design the Guidelines also seek to ensure a consistency in design and construction quality throughout the community to protect property owner's values and investment. The homes and community structures should focus on a theme of natural materials and simple forms that blend with the natural surroundings. Each new home should be a harmonious addition to the community that is an expression of individuality within this theme.

An additional objective of the Guidelines is to streamline the property owners' process of preparing plans, submitting documents, and gaining construction approvals for their new homes. The process described in this document is designed to simplify the approval and construction process for owners, architects, and builders.

1.3 Design Philosophy

The guiding philosophy behind Canyon Ridge is to create an environment where residents and guests can experience the northern New Mexico wilderness in its natural setting with minimal disturbance from development. To this end most of the ranch sites and amenities have been placed primarily on the western rim of the property, away from sensitive habitat areas and wildlife migration routes. The land plan was designed to avoid intrusion into this pristine environment with development but rather a careful placement of roads and structures on the land to ensure minimal impact on nature.

Another tenant in the Canyon Ridge philosophy is respect for the regional and local culture. The developer has gone to great lengths to ensure the creation of this community does not negatively affect the character and culture of the area. The low density plan of only 81 ranch sites, private roads, and utilities does not burden the local public infrastructure and natural resources but provides a significant tax base to the County and the local schools. The construction and ongoing operation of the community provides employment and promotes the local economy. Residents living here will continue to purchase goods and services locally bringing further local economic stimulus. In the course of developing the community the developer has been committed to purchasing goods and services locally to the extent possible and encourages residents to do the same.

The architecture at Canyon Ridge also embraces the local culture by borrowing forms and materials from the regional vernacular. Through the efforts of the project design team this approach has resulted in the evolution of a style of architecture unique to Canyon Ridge- The High Canyon Style. This style is “of the land” as it utilizes materials that exist on the property and puts them together in a way that borrows from traditional northern New Mexico styles. This style combined with other traditional high alpine styles will create a rich mosaic of individual, yet compatible styles at Canyon Ridge.

1.4 Conservation Principles

Conservation of sensitive habitats and natural resources was the guiding principle in development of the land plan for Canyon Ridge. This principle should carry through to the development of each ranch site as well. A team of environmental consultants spent weeks on the property gathering data and mapping feature areas as well as those sensitive to development. This has resulted in the developer designating over 4000 acres, 70% of the property, as permanent conservation areas. Most of the conservation area is in contiguous common area which residents can experience through trail networks and outpost cabins. Some of the individual ranch sites have conservation areas that are protected through deed restrictions. These conservation areas ensure that this pristine wilderness will be preserved for future family generations, thereby becoming a “Legacy Property.”

1.4-1 Conservation Easement

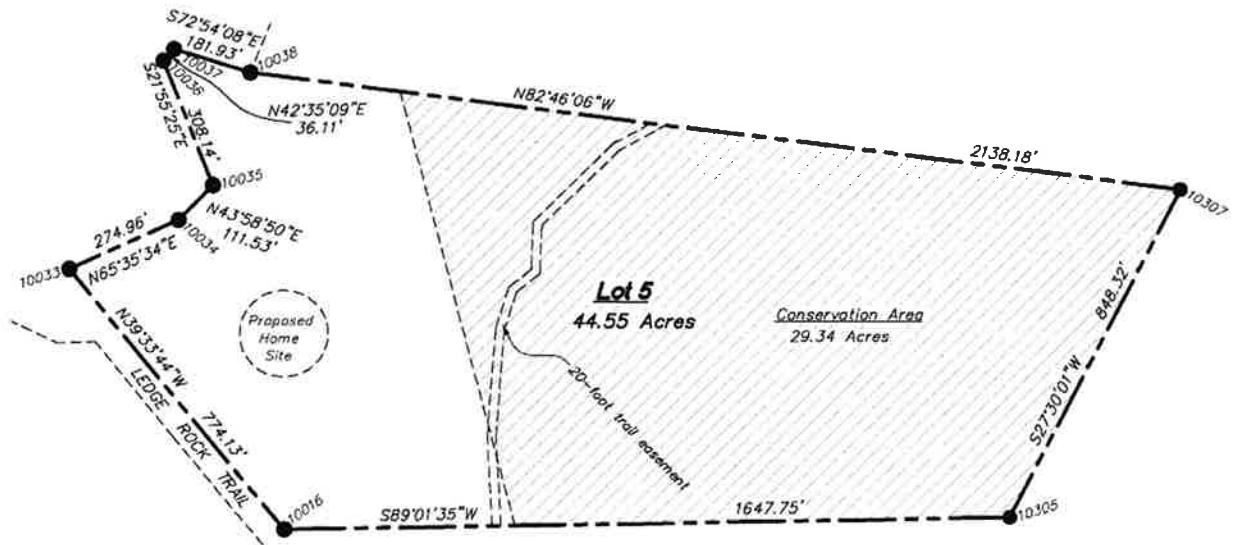
Approximately 4000 acres has been reserved for a conservation easement that may be conveyed to a conservation trust. No development can occur in the easement other than access roads, trails, a few outback (off the grid) cabins, and park structures. Residents and their guests will have use to the conservation easement as a common area for outdoor recreational enjoyment such as hiking, biking, cross country skiing, snowmobiling (adjacent to roads), fishing, horseback riding, and overnight stays in the outfitter cabins. Guided hunting on a limited basis will occur during the appropriate seasons in designated areas with proper notification to property owners. Trail and other informational signs will be installed by the developer to promote safety and environmental education.



Conservation Lands Map

1.4-2 Conservation Areas

Some areas within individual ranch sites are protected through *Conservation Area* easements. Easements in these areas will not be conveyed to a conservation trust by the developer. They are designed to protect portions of a ranch site that are contiguous with the common area conservation easement to further protect natural habitat and natural resources. They are for the most part in areas of the ranch sites that are unsuitable for development due to steep terrain. Trails and other landscape structures are permitted in these areas with prior DRB approval. Management activities by the property owner for forestry and habitat management are allowed and encouraged. Any activity that removes vegetation or disturbs soils must be approved in advance by the DRB.



Ranch Site with Conservation Area Easement

1.4-3 Water Conservation

Water is a limited and precious resource throughout the southwestern United States and must be carefully managed to ensure the equitable and responsible use of the resource by all citizens in any given area. Canyon Ridge, with approximately 30" of rainfall per year, has been designed to apply these principles to land planning, club operations, and the provision of services to the community. Likewise we encourage property owners to incorporate water conservation principles in the design of their homes and in their daily activities in the community.

The management of water resources at Canyon Ridge is guided by a variety of water conservation techniques:

- Shared domestic wells and metered, localized water distribution systems
- Water saving appliances in homes and community buildings
- Rainwater Harvesting for non-potable water uses
- Water re-use systems for wastewater that provides irrigation water
- Xeriscape landscape techniques to reduce irrigation requirements
- Managed forest thinning and clearing to increase runoff to streams and water recharge areas
- Centralized management of the community water resources through the HOA

1.4-4 Wastewater Management

Wastewater management at Canyon Ridge is based on the use of a standardized individual tertiary treatment system at each property with centralized management through the HOA. The highly treated effluent, one level below drinking water standards, from the treatment systems will provide irrigation water for landscapes in the summer and returned to groundwater in the winter. This system is far superior to conventional septic systems by protecting ground water quality and reducing the need for potable water use in landscape irrigation. The electronics on each system enable remote monitoring via the internet that sends alerts to maintenance personnel if operational anomalies are detected. The maintenance personnel can actually perform some repairs remotely through the software.

1.4-5 Wildfire Management

Wildfire management plans are critical in the southwest to prevent the ignition and spreading of wildfires. Canyon Ridge has engaged foresters specializing in wildfire management to assist with the development of a management plan for the community.

The key components of the plan are:

- Long Term monitoring and removal of deadfall to prevent fuel accumulation
- Use of low combustion construction materials
- Encourage installation of in-home sprinkler systems
- Maintaining defensible space around structures with “firewise” landscape techniques
- Construction of fire suppression tanks in key locations
- Provide for easy fire apparatus access
- Periodic inspection and review of property with County Fire Marshall
- Provide property owner with fire prevention educational materials

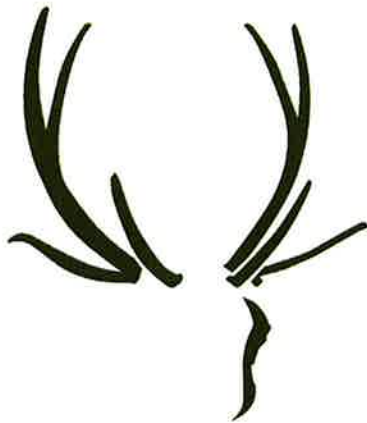
1.5 Common Areas

All common areas in the property, including roads, are for the use and enjoyment of the residents. Any new improvements or alterations to existing improvements including but not limited to signage, lighting, park structures, trails, landscaping, drainage, and cabins must be approved by the DRB once the developer transfers rights to the Home Owners Association (HOA).



SECTION 2

CANYON RIDGE



Design Review Process

All plans for new construction, improvements, and additions on ranch sites and in common areas must be submitted to the DRB for review. The application review is guided by the Design Guidelines and the Declaration of Conditions, Covenants, and Restrictions, however the DRB does have the authority to disapprove designs based solely on aesthetics. Homes with minimal to no visibility from roads, adjacent ranch sites, and common areas will be given wider design latitude than highly visible structures. Once an application is approved the DRB will issue a *Canyon Ridge Construction Permit*. If the plans are not approved the DRB will offer suggestions for modifications that would lead to plan approval.

Canyon Ridge (CR), unlike many other communities, takes a very proactive approach to the design review process through early involvement in the design process. This approach reduces approval timelines and costs for builders and property owners. The components to the Design Review Process are:

- The Design Review Board
- The DRB Construction Application documents
- The Canyon Ridge Construction Permit
- The DRB Schedule of Fees

2.1 The Design Review Board

The Design Review Board (DRB) is responsible for the administration of the Design Guidelines and the review of all applications for all construction and modifications within the community. DRB members are appointed by the developer until the community build-out reaches 50% at which time the HOA shall appoint the DRB members. Members of the DRB could include design professionals such as architects, landscape architects, engineers, and others at the discretion of the developer, who may be compensated for their services to the board. Their compensation is generated from the Design Review Fees which are required with all applications submitted to the board. (See Appendix B for the Schedule of Fees).

The goal of the DRB is to protect the Canyon Ridge vision and property values by assisting architects, builders, and property owners with the creation, submission, and approval of plans in a defined, orderly process. DRB meetings are scheduled by the chairman, or a designated representative, as required to ensure a timely review process for property owners. Since all plans and documents will be submitted electronically the DRB meetings may be conducted online.

2.2 The Design and Builders Guild

The Canyon Ridge Design and Builders' Guild is comprised of architects and builders that are pre-approved by the developer to provide design and construction services in the community. The Guild Members have been evaluated by the developer with regard to quality of work, financial stability, and a history of customer satisfaction. They have a thorough understanding of the Canyon Ridge design philosophy and embrace those principals. A property owner can engage a non-guild member for their home design and construction provided the Design Guidelines and Covenants are adhered to by these individuals/organizations.

2.3 Design Review Process

Canyon Ridge property owners will follow the process numerated below, leading to approval for home construction:

1. Preparation of Construction Permit Application documents
2. Submission of CR Construction Permit application package
3. Review of application and plans by the DRB
4. Notification to applicant of DRB decision
5. Issuance of CR Construction Permit if application approved- (see Appendix B & C for Construction Permit fee schedule and sample permit)

Approval for additions or alterations follows the same process except that steps 1 & 2 are eliminated.

The Construction Permit Application package includes the following documents:

- Completed application form (see sample form in Appendix A)
- A check payable to Canyon Ridge Home Owners Association for plan review fee and the tap/impact fee (see schedule of fees in Appendix B)
- One set of prints and the electronic files (pdf, dxf, or dwg) for all plans specified in Section 2.4
- Product samples, color samples, cut sheets, and photos required in Section 2.4

The completed application package should be mailed to:

Canyon Ridge DRB
569 Buckman Rd.
Chama, NM 87520

Upon receipt of the application the DRB will notify the applicant of any deficiencies in the application within 10 business days. Once the application is deemed complete and approved, the DRB will advise the applicant of approval. If the application is approved a CR Construction Permit will be issued within 5 business days of receipt of the Construction Performance Deposit (see Appendix D). If the application is not approved the DRB will notify the applicant of the action within 10 business days advising why the application was denied and suggest plan revisions that would allow the application to be approved. If the applicant chooses to make the revisions and resubmit the application the same review cycle described above will apply.

Once the CR Construction Permit has been obtained the builder may apply for a Rio Arriba County building permit. Once issued, copies of all CR Construction Permits are sent to the County building and Inspections office for their files. The County will not accept a building permit application from any Canyon Ridge property without a CR Construction Permit on file.

The DRB, or a representative, will make site inspections from time to time during the construction phase to ensure plan compliance. Upon notification of completion of construction by the applicant the DRB will make a final inspection and if construction is deemed to be in accordance with the Construction Permit a *Canyon Ridge Construction Completion Certificate* (see Appendix E) is issued. A copy of the certificate is forwarded to Rio Arriba County building inspections department. The County will not issue a certificate of occupancy until they receive the Canyon Ridge construction completion certificate.

2.4 Design Review Application Documents

The design drawings and documents required for the DRB design review application are:

- DRB Application Form
- Site Plan
- Floor Plans
- Elevations
- Typical Deck/Porch Sections
- Exterior Details
- Product and Material Samples
- Landscape Plans

All documents shall be submitted in PDF and CADD (dxf or dwg) formats.

Site Plans

Site plans must be prepared and sealed by an architect or landscape architect that has been approved by the DRB.

2.4-1 Site plan

The site plan only needs to show that portion of the lot where improvements will occur and must include the following:

- , Property lines with bearing and distances and easements
- , North Arrow
- , Scale no less than 1"=30'
- , Proposed clearing limits
- , All proposed buildings, accessory buildings and landscape structures
- , Contiguous streets, proposed driveways, parking areas, and walks
- , Wells, utility structures, water meter, lines, tanks and pumps, electrical junction boxes, wastewater tank, propane tanks and mechanical equipment
- , Proposed grading, showing existing and proposed contours
- , Retaining walls, fences, hardscapes, drainage structures
- , Erosion control devices
- , Temporary facilities during construction period including storage trailers, dumpsters, portable toilets, materials lay-down areas, tanks, contractor parking areas, and construction entrance
- , Material descriptions and dimensions for all exterior structures other than buildings

(See sample Site Plan in Appendix F)

Architectural Plans

Architectural plans must be prepared and sealed by an architect that has been approved by the DRB.

2.4-2 Floor Plans

Floor plans at a scale of 1/4"=1'-0" are required for all proposed buildings on the lot and must include the following:

- , All rooms, porches, decks, stairs, garages, and service areas with labels and dimensions
- , Windows and exterior doors with swing arcs shown
- , Roof Plan
- , Roof and floor overhangs- shown as dashed lines

2.4-3 Elevations

Building elevations at a scale no less than 1/8"=1'-0" are required for all proposed buildings on the lot and must include the following:

- , Doors, windows, and openings
- , Exterior finishes- materials and colors
- , Finish floor elevations dimensioned to exterior grades
- , Roof pitches
- , Lighting, ornamentation, and any other objects attached to buildings

2.4-4 Typical Deck/Porch Sections

Wall Sections at a scale no less than 3/4"=1'-0" are required for all proposed buildings on the lot and must include the following:

- , Individual sections for each deck or porch type
- , Adjacent walls
- , Materials and finishes labeled

2.4-5 Exterior Details

Exterior details at a scale no less than 1-1/2"=1'-0" are required for all proposed buildings on the lot and must include the following:

- , Eave and cornices
- , Chimneys
- , Columns
- , Porch, deck and railings
- , Window heads, sills, and jambs
- , Doors and frames
- , Entry surrounds balconies, bays, dormers, foundation vents, porch/pier screening, and any other significant architectural element
- , Exterior siding- corner boards, foundations, jointing, stone masonry patterns, etc.
- , Materials labels and dimensions

2.4-6 Product and Material Samples

Product and color samples are required for the following:

- , Exterior siding
- , Roof
- , Exterior trim
- , Porch and deck materials
- , Exterior stone- chimneys, foundations, accents, etc.

Landscape Plans

2.4-7 Landscape Plan

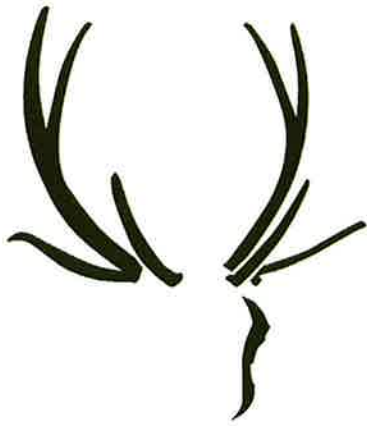
The landscape plan shall be shown as an overlay on the Site Plan (Section 2.3-1) and must include the following additional information:

- , Outline of each plant type grouping.
- , Existing trees or shrubs remaining in planted areas
- , Details for walls, fences, walks, trails, gates, drives, foot bridges, parking areas, and borders.
- , Landscape structures, e.g. gazebos, pavilions, decks, arbors, trellises, entrance posts/beam structure, flag poles etc.

See Appendix G- Sample Landscape plan. (To be added at a later date.)

SECTION 3

CANYON RIDGE



Site Design Standards

The Canyon Ridge Site Design Standards have been established to promote judicious placement of structures and site improvements on the land with consideration for the environment, adjacent property owners, and impact on common areas. The design standards for site planning are as follows:

3.1 Building Sites

3.1-1 Homes

Proposed home building sites, as indicated on the final plat maps, were pre-determined for each lot during the master land planning process. These sites were selected based on topo, views, preservation of vegetation, conservation areas, relation to adjacent homesites and common areas, and suitability for construction. However, many of the ranch sites have multiple, suitable homesite locations so a property owner may have several options for building locations. No house can be located within 30 feet from the precipice of a cliff.

Rather than establishing fixed building setbacks for each lot the developer has established a more interactive approach with the use of GPS technology. Electronic files with the GPS data can be provided to the architect and builder to guide the building design and placement on the site. (See Fee Schedule)

3.1-2 Guest Cottages

In addition to the main house one guest cottage may be constructed on any lot. The location of guest cottage sites will be determined through the same process employed for homesites as described in Section 3.1-1. Factors to consider for guest cottage locations are the distance from the primary residence, pathway connections, tree and vegetation preservation, conservation areas, parking and drives access, and design consistency with the main house.

3.1-3 Accessory Structures

Accessory structures such as detached garages, storage and utility buildings, playground structures, sports courts, greenhouses, and garden sheds will be determined through the same process employed for homesites as described in Section 3.1-1. Factors to consider for accessory structure locations are the relationship to the main house and other buildings, pathway connections, tree and vegetation preservation, conservation areas, design consistency with the main house, and visibility from adjacent lots, roads, and common areas. Swimming pools are not allowed. The DRB reserves the right to limit the number of accessory structures on any lot.

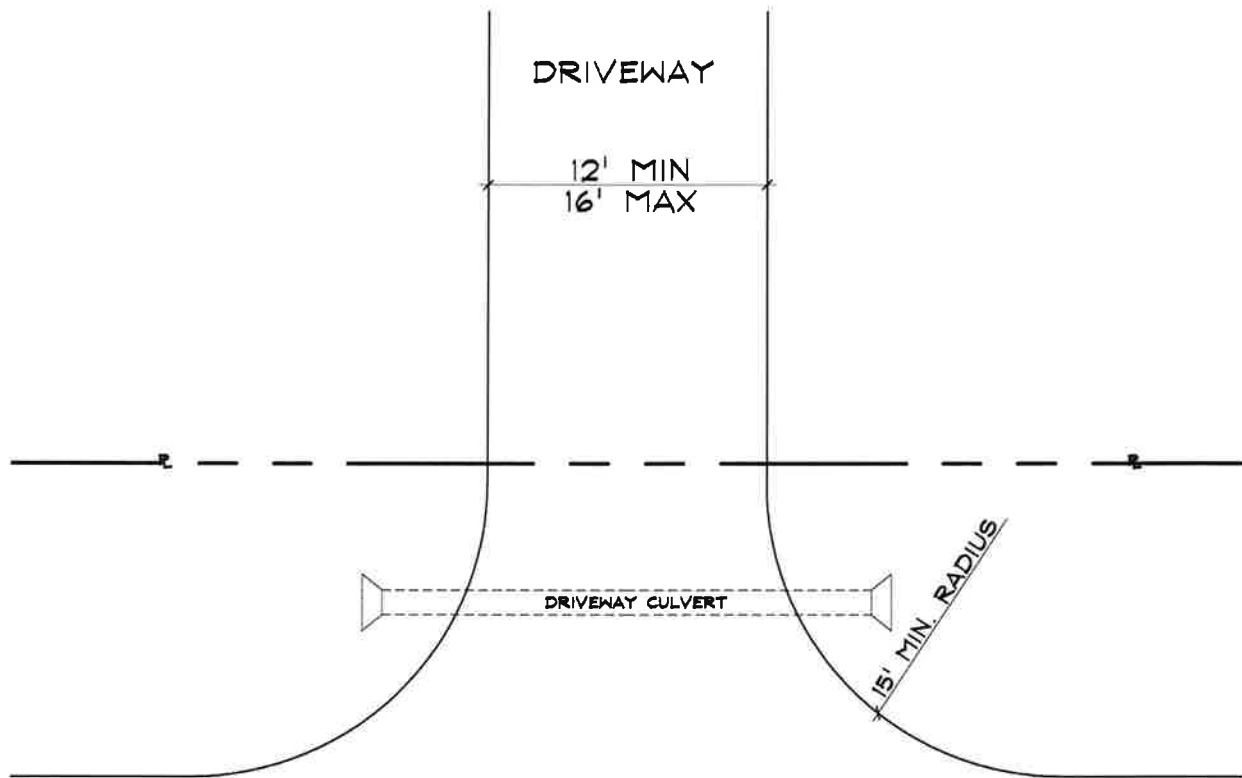
3.1-4 Landscape Shelters and Structures

Landscape structures such as detached decks, gazebos, foot bridges, arbors, and outdoor fireplaces will be determined through the same process employed for homesites as described in Section 3.1-1. Factors to consider for landscape structure locations are the relationship to the main house and other buildings, pathway connections, tree and vegetation preservation, conservation areas, design consistency with the main house, and visibility from adjacent lots, roads, and common areas.

3.2 Drives, Parking and Walks

3.2-1 Driveways

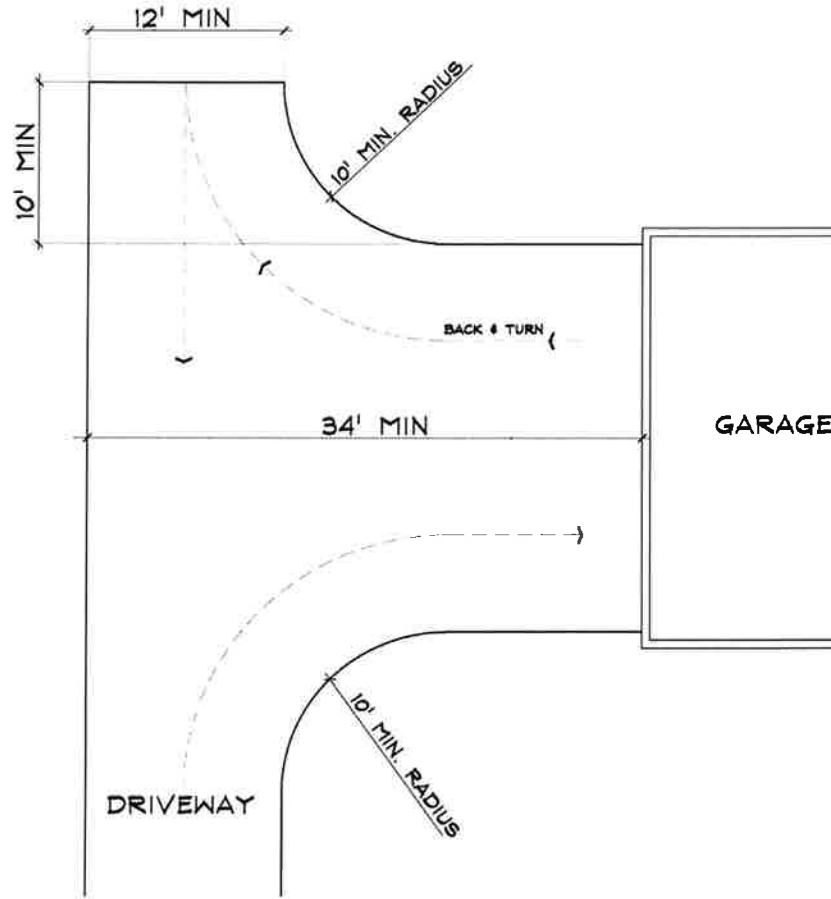
Each ranch site will be accessed by a driveway connection to the adjacent road. The alignment of the driveway should be based on minimal grading requirements, drainage patterns, rock outcrop avoidance, tree and vegetation preservation, and the approach alignment to the main house. All driveways will require corrugated steel culverts with flared end sections where they intersect the roadway drainage system. The DRB will provide the owner with the pipe size required for their driveway. The driveway width shall be a minimum of 12 feet and cannot exceed 16 feet. Driveways shall have a minimum 15 foot radius at the road intersection. The driveway section shall consist of a 6" base of 4 minus stone with a 4" surface course of 1 minus stone. The surface course should not be applied until home construction is complete. Driveway culverts shall be corrugated metal pipe with flared end sections. On-going driveway maintenance will require periodic addition of 1 minus stone due to loss from wear, erosion, and snow blowing.



DRIVEWAY SCHEMATIC

3.2-2 Parking

Resident and guest parking areas should be carefully planned to provide safe and efficient circulation on the lot with adequate vehicular storage areas. A parking space for one car should be a minimum of 9 feet x 18 feet. The number of parking spaces on lots will vary depending on how many vehicles an owner anticipates may be present at one time. Parking area sections should be the same as driveway sections described in section 3.2.1 above.



PARKING SCHEMATIC

3.2-3 Walks and Trails

It is recommended that walks between drives and parking areas should have a hard surface finish that is compatible with the materials used on the home, e.g. flagstone, stone pavers, or washed-aggregate concrete are the preferred finishes. Trails or informal pathways on the property should be a wood mulched surface bordered with stone, wood, or steel landscape edging. No plastic edging is allowed.

3.3 Clearing and Removal of Vegetation

No clearing of vegetation or tree removal may occur on any ranch site without prior approval of the DRB. No material may be burned. Material must be hauled offsite or placed in an approved bury pit.

3.3-1 Preliminary Clearing

Approvals for limited, preliminary clearing or vegetation thinning for views or wildfire protection is required prior to issuance of construction approval by the DRB can be requested. The property owner should flag the limits of vegetation thinning or removal areas and individually flag each tree to be removed over 6" in diameter measured at 4 feet above ground level.

3.3-2 Final Clearing

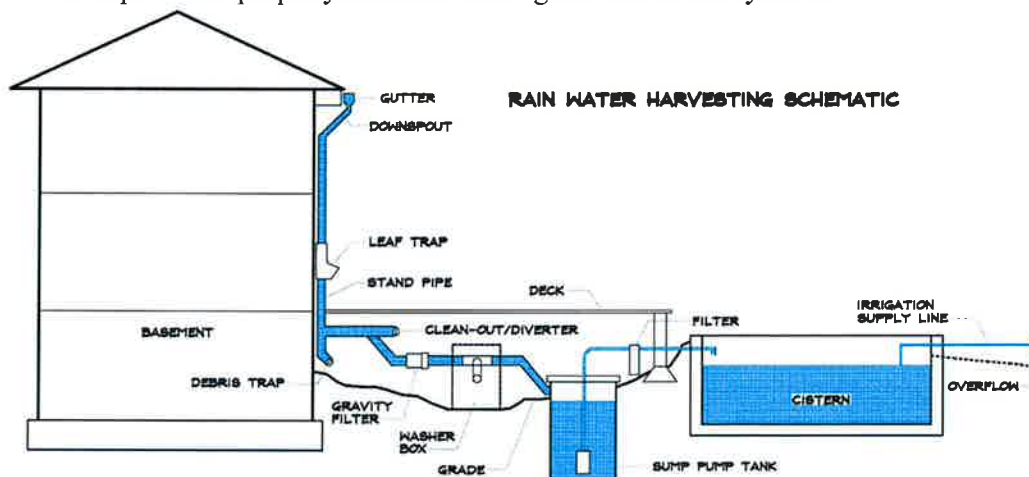
The final clearing limit outlines must be shown on the site plan and flagged in the field as described in section 3.3-1 above. The field flagging for the proposed clearing areas and individual trees will be reviewed by a DRB representative as a normal part of the application review site visit.

3.4 Grading and Drainage

Buildings and circulation on the ranch sites should be sited and designed to avoid impacts on natural drainage systems and to minimize grading. In areas where grading is required erosion control protection measures, e.g. silt fencing, must be in place prior to commencement of any earthwork activities. Upon completion of grading activities all slopes must be immediately stabilized with vegetation, retaining walls, or stone surfacing. Sheet flow surface drainage is preferred where practical but if structures such as pipes and inlets are deemed necessary they must be specifically approved by the DRB.

3.5 Rainwater Harvesting

Rainwater harvesting is encouraged as part of the water conservation program at Canyon Ridge. Runoff from roof tops and impervious surfaces can be captured, stored, and used for non-potable water needs such as landscape irrigation, outside cleaning, etc. thus reducing the demand on the well systems. A schematic diagram of the catchment and storage system is required for property owners choosing to install these systems.



3.6 Water System

3.6-1 Shared Domestic Wells

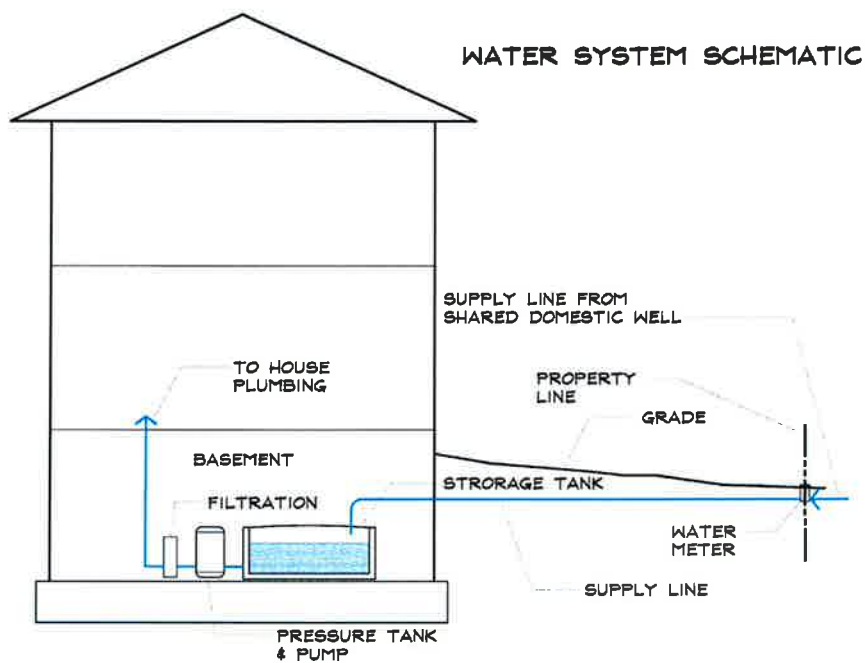
The potable water source for all homes and community structures at Canyon Ridge will be supplied by shared domestic wells. Under this program water rights are not required pursuant to NMSA 1978, §§ 72-12-1 and 72-12-1.1. These wells will be installed by the developer and maintained by the lot owner and monitored by the HOA in accordance with the New Mexico Office of State Engineer standards. Property owners sharing a well will sign a Shared Well Agreement (see Appendix H) which is recorded against the lot. It is anticipated that a typical well will supply water for three to five homes depending on well yields, topography, and hydrology. Each well has a withdrawal limit of 3 acre/feet per year. (1 af = 325,851 gal.) in accordance with New Mexico shared well regulations. No other wells may be drilled on any lot.

3.6-2 Water Distribution

The developer will install water distribution lines and ground storage tanks from the shared domestic wells to each lot served by the shared well. The water lines will terminate at the lot property line in a water meter vault. Meters may be installed in the vaults at a future date if the developer or HOA deem it necessary to monitor water consumption for each lot.

3.6-3 Pressure System

The third component in the water system includes the service line from the water meter to the home, an in-home storage tank, and in-home pump system. Incoming water supply from the water meter at the property line will flow through the on-lot supply line to a storage tank in the basement of the homes. The storage tank will be equipped with a float switch which will automatically replenish the water supply in the tank as the water level is drawn down. An air tank and pump system will supply the desired water pressure in the home. Properly designed the pressure system will support a fire sprinkler system in the house. Each system should be specifically designed for each home and the owner's preferences. The home builder is responsible for design, installation and all costs associated with water service inside the lot lines. A schematic of the proposed system is required with the site plan document.



3.7 Wastewater

A “water reuse” system has been selected by the developer as the standardized wastewater solution for Canyon Ridge. This system is far superior to septic tank systems in performance, water conservation, and groundwater protection. These individual lot systems will provide treatment one level below drinking water standards which will provide “reuse water” for drip irrigation in landscape applications. The system selected is The AdvanTex® System manufactured by Orenco Systems, Inc. due to its long, successful operational history in cold and high altitude environments.

The AdvanTex® systems consisting of piping, pumps, tanks, and electronics will be installed as individual, stand-alone systems on each lot. The HOA will contract with a certified Orenco contractor to install, monitor, and maintain these systems on a community wide basis. These systems are monitored via phone lines 24/7 through onboard electronics and software which will trigger a page and email alert to the service contractor if an anomaly is detected. The software enables the service technicians to troubleshoot each system remotely and make on-line corrective adjustments in many cases.

The property owner is responsible for all installation and repair costs of their system and the HOA is responsible for coordinating monitoring and routine inspections. The AdvanTex® tank location is required to be shown on the site plan.

AdvanTex® Main Components

- A Control panel
- B Processing tank
- C Biotube® pump package
- D AdvanTex filter with vent



3.8 Electrical Service

Underground electrical service is provided to all ranch sites with connection points (junction boxes) located on lot lines. Once the homesite location is determined the transformer location on the lot is determined and a primary line is installed to connect the transformer to the junction box. Secondary electrical lines can then be installed to the meter base on the home. No overhead lines are permitted except for temporary power during construction.

The primary lines will be owned and maintained by NORA, the local electrical co-op. The builder/owner is responsible for all costs associated with all electrical lines and transformers on the lots. It is recommended that each home install a generator as a back-up power source.

The transformer and junction box locations are required to be shown on the site plan.

3.9 Phone

Phone services (DSL) will be provided in the community. A connection point will be provided for each ranch site at the lot lines. The builder/owner is responsible for all costs associated with installation of network components on the lots.

3.10 SAT Dishes

The video source for TV reception in the community will be through individual satellite dishes on each ranch site. The cost of dish installation and service is the responsibility of the property owner. The dish diameter cannot exceed standard Dish or Direct TV sizes and must not be visible from adjacent lots, roads, or common areas. No other exterior antennas or SAT dishes are allowed unless specifically approved by the DRB.

3.11 Storage Tanks

Storage tanks for LP gas shall be placed underground. Water storage tanks should be placed in basements or insulated utility buildings. Site plans must show all tank sizes and locations on the property.

3.12 Mechanical Equipment

All mechanical equipment such as HVAC units, generators, meters, and valves shall not be visible from adjacent lots, roads, or common areas. It is recommended that they be placed in a screened service area integral to the house. The screening wall materials should be consistent with house materials. The utility area and the screen wall elevation must be shown on the site plan.

3.13 Outdoor Audio Systems

Outdoor audio systems are allowed. Sound levels should be maintained so as not to disturb adjacent properties.

3.14 Walls & Fencing

Fences should be placed on ranch sites judiciously since they restrict wildlife movement patterns. Border fencing along property lines is not allowed. Privacy fencing is allowed but should be used where absolute screening is required. Fences must be of wood construction, natural or stained in earth tone colors, and heights cannot exceed 8 feet. Fence styles should be appropriate to the home architecture and regional styles. PVC or other synthetic materials are not allowed.

Privacy or retaining walls should be used only as necessary and should be poured in place concrete or masonry block. All exterior wall surfaces must be finished with stone or stucco

that is compatible with the home finishes. Privacy walls may not exceed 8 feet in height. Terraced retaining wall must have a minimum 4 foot planting bed between the walls.

3.15 Outdoor Storage

Recreational equipment, sports equipment and large accessories must be stored in storage buildings that are consistent with design and materials of the main house. These buildings must be indicated on the site plan. Architectural plans are required showing plan and elevations. These accessory structures must be placed at the rear of the home, not visible from roads. No items of any kind may be stored on a ranch site that are not in a storage building or entirely screened from view from adjacent properties, common areas, and streets.

Permanent, outdoor storage of motor homes and campers is not allowed on ranch sites but they may temporarily occupy a property for no more than 30 days in the course of a year. They should be parked in an area that affords minimum visibility from adjacent properties, roads, and, common areas. No outdoor storage of boats is allowed.

3.16 Signage

No signage, permanent or temporary, may be placed on any lot without prior written approval of the DRB. House number signs visible from the street are required and small security system signs are allowed. Materials and colors should relate to the main house and signage letters should be three dimensional, not exceeding a letter height of 8". No real estate or contractor advertising signs are allowed. Flagpoles are allowed provided they do not adversely impact adjacent properties.

3.17 Lighting

In order to preserve the night sky views and avoid light pollution Canyon Ridge has adopted *Dark Sky* lighting principles for the entire property. All exterior lighting on lots must be low intensity with the light source fully shielded and aimed downward. Colored lights are prohibited. Lighting fixture specifications, locations, and heights must be submitted to the DRB for approval. Temporary, seasonal holiday lighting is allowed in moderation. This lighting may be on the property for no more than 45 days per year. High illumination flood lighting of house walls is not allowed. All lighting must comply with the Rio Arriba County Night Sky Protection Ordinance 2009-02. (see Appendix J).

3.18 Sports Courts

Due to the extensive clearing required tennis courts are not allowed on ranch sites. Half-court basketball courts are allowed subject to DRB approval. Backboards, goals, and court surfaces should be painted to blend with the house and surroundings. Sports courts must be screened if they can be viewed from adjacent properties, common areas, and streets.

3.19 Play Structures

Outdoor play structures should be constructed of wood construction or materials natural in appearance that blend into the landscape. Brightly colored, plastic structures are not allowed. All play structures must be screened if they can be viewed from adjacent properties, common areas, and streets.

3.20 Pet Facilities

Pet facilities such as dog houses, kennels and dog runs are allowed. Dog houses should match the house materials and colors. If chain-link fencing is used it must be vinyl coated, black or dark green in color and screened with landscaping. All pet facilities must be screened if they can be viewed from adjacent properties, common areas, and streets. Consideration should be given to the protection of pets from the indigenous wildlife.

3.21 Mailboxes

Mail service in Canyon Ridge will be provided through individual post office boxes at a centralized location. No individual mail boxes are allowed.

3.22 Waste Receptacles

Waste collection at Canyon Ridge is the responsibility of each owner. A local waste contractor will provide standardized cart receptacles for street side pickup at each ranch site driveway. The waste carts should be placed street side no sooner than the morning of the pickup day to avoid animal scavenging. They should be removed no later than one day after pickup. The carts must be stored in a screened service yard and contained to be inaccessible to animals consistent with the requirements in section 3.12, or in a garage. No other receptacles are allowed except for temporary dumpsters during the construction period or for special clean-up projects. No burning of any waste or debris is allowed at any time.

3.23 Common Areas

Any improvements or alterations to Common Areas including private streets and conservation areas must be approved by the DRB.

3.24 Conservation Areas

Conservation easements and areas are to remain in a natural state except for limited development of trails, signage, park shelters, trail bridges and overlook platforms. Any improvements or alterations to conservation areas on ranch sites and in common areas must be approved by the DRB. Routine maintenance for wildfire protection, soils and vegetation stabilization, and forestry management is allowed.

3.25 Outdoor Fireplaces

Outdoor fireplaces and fire pits are allowed provided that they do not pose a fire threat. All fireplace chimneys must have spark arrestors in the flues and all fire pits must have minimum 18" high, non-combustible walls with a spark arrestor screen over the entire pit opening. No fires are allowed during periods of an announced burning ban. No fire may be left unattended at any time and should be completely extinguished when vacating the area. All outdoor fireplaces and fire pits require DRB approval.

3.26 Site Furnishings

These items should be stored when the property is vacated for extended periods of time.

3.27 Equestrian Properties

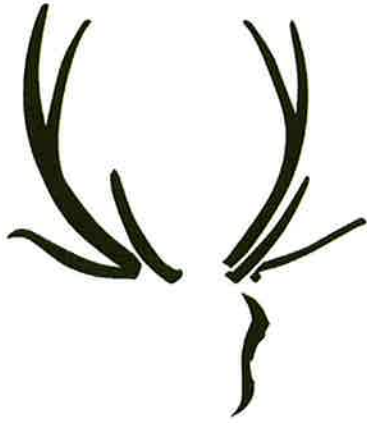
Some lots at Canyon Ridge are compatible to board horses on site. Equestrian lots have been evaluated and found to be suitable for equestrian use. If a property owner desires to board horses on their ranch site they should request an *Equestrian* lot designation from the DRB. Upon receipt of a written request the DRB will evaluate the suitability of the lot for equestrian use. The factors the DRB will consider in granting the *Equestrian* designation are based on:

- Topography – sufficient gentle slope area for pasture and barn
- Relationship of pasture and barn area to homesite, adjoining properties, and common areas
- Number of horses to reside on the ranch site- two maximum

Plans for barns, fencing, and any other structures related to equestrian facilities must be submitted to the DRB for approval.

SECTION 4

CANYON RIDGE



Building Design Standards

4.1 Architectural Styles

With the Canyon Ridge philosophy of living in harmony with nature the essence of the architecture should be “of the land.” This is a timeless, relaxed architecture that draws its shapes, materials, and colors from the natural surroundings in which it resides. It engages its residents in nature and is a harmonious, rather than intrusive, addition to the natural landscape. All of the community buildings at Canyon Ridge will be constructed in High Canyon style but the style also has a range of applications to home designs as well.

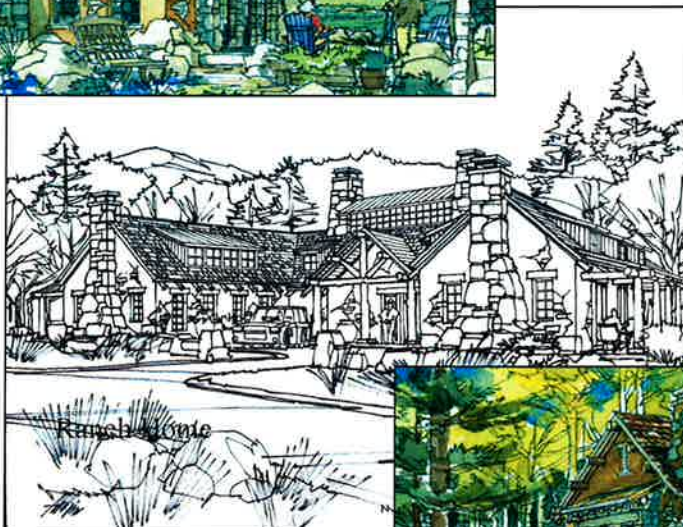
4.1-1 High Canyon Style

In the pursuit of adapting this philosophy to the design of the homes and buildings at Canyon Ridge a unique architectural style was born- *High Canyon Style*. The buildings in this style will appear to have been built many years ago from the soil, rock, and trees harvested from the immediate surroundings. These structures begin with foundations anchored by signature, partially buried boulders from which the buildings spring from the earth as if they were born to be there. Stone walls and accents will be constructed with stone harvested from the building site. Authentic stucco is placed on exterior walls in a way that appears to have partially worn off over the years revealing the stone beneath. Stone headers over the deep set windows further reinforce the timeless, regional character of the style.

Peeled log posts and beams draw from traditional High Alpine architecture so prevalent in the high country of the American Southwest. The clay tile roofs represent the soil of nature used in harmony with the surroundings. (See Appendix L for additional information and suggestions)



Casita



Ranch Home



Casita

High Canyon Style Examples

4.1-2 Log Style

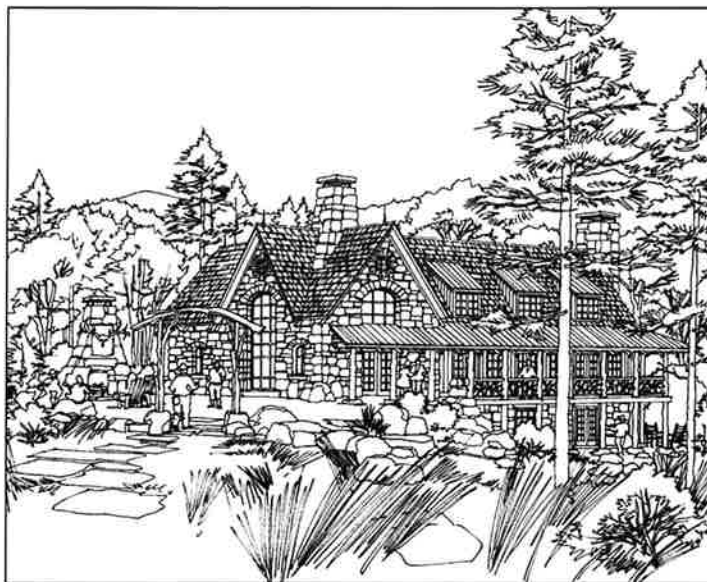
Log homes are a suitable style for Canyon Ridge since they are rustic in character and blend well with the natural landscape. These homes could be accented with natural stone foundations and fireplaces. The use of peeled log posts and beams provide interesting articulation to the architecture. “D” shaped logs with a hand-hewn appearance and exposed chinking create a natural, hand-built character for the home. Metal and/or non-combustible shake-like roofs best suit the log home style. (See Appendix L for additional information and suggestions)



Log Style

4.1-3 Stone Style

Stone homes are appropriate for Canyon Ridge since stones of various textures and colors are found in abundance on the property. Wood trim, peeled log posts and beams provide interesting details and contrast to the stone. Window and door trim can be painted in an accent color to add interest and character to the home. (See Appendix L for additional information and suggestions)



Stone Style

4.1-4 Siding Style

Homes with horizontal or vertical siding are an acceptable style choice for Canyon Ridge. The siding material should have a rough-sawn finish in keeping with the natural, rustic character of the property and stained in earth tones to blend into the surroundings. Stone, painted wood trim, peeled log posts and beams provide accents and detail to the homes. (See Appendix L for additional information and suggestions)



Siding Style

4.1-5 Hybrid Style

The above styles can be mixed to produce interesting architectural designs that combine logs, siding, and stone. This approach can also make the house reminiscent of an old, historic structure that evolved over time with successive generations adding new sections. (See Appendix L for additional information and suggestions)



Hybrid Style

4.2 Building Size

The minimum heated square footage requirements at Canyon Ridge are:

- Main House- 2500 SF
- Guest House- 1200 SF
- No building may exceed 8000 SF without specific approval of the DRB. For residences over 8000 SF it is recommended that:
 - The square footage is distributed over two or more detached structures. Detached structures may be connected with common decks or enclosed walkway with maximum width of 8 feet.
 - An adjacent lot is purchased and combined with the existing lot for which 4000 additional SF of building area in a single structure will be granted.

4.3 Construction Timelines

The construction period on a home or guest house begins when actual construction on the building begins. The maximum construction periods for guest and main houses are:

- Guest House- 18 months
- Main House- 24 months

A guesthouse can be constructed prior to the construction of the main house provided that the main house is started within 36 months of receiving a certificate of occupancy on the guesthouse. The DRB may extend the construction period for special circumstances upon written request from the property owner or builder. There is no time limit to start construction of a guest or main house on any lot after closing on the property.

4.4 Height and Massing

A large singular mass tends to dominate a site rather than blend with it. It is preferable to divide the total mass of a home into several smaller volumes. This approach will result in more interesting elevations and will allow houses to better integrate with the site.

The maximum building height in Rio Arriba County is 36 feet measured from average finish grade to the ridgeline of the roof. Walls cannot exceed 20 feet in height without a minimum 2 foot horizontal offset.

4.5 Foundations

Foundation conditions should be piers and curtain walls and/or basements for the main house and guest cottages. Elevated slabs are only permitted for accessory structures. All exposed foundation walls must be finished with natural stone or stucco with an earth tone color. The footers and foundation walls should step down with grade changes to keep the exposed wall heights to a maximum of 8 feet.

4.6 Exterior Materials

The approved exterior materials for Canyon Ridge are wood, peeled and/or milled logs, stone, cement-based stucco, and cement-based lumber (James Hardie *Artisian* series or equivalent). Prohibited exterior materials are EIFS stucco systems, plywood, vinyl, aluminum, and plastic. Vinyl cladding is permitted on windows (see Section 4.11).

4.6-1 Horizontal Siding

Pressure treated wood siding is preferred but fiber-cement board is allowed provided that it meets or exceeds James Hardie *Artisian* series specifications. Siding shall be painted or stained with earth tone colors that blend into the landscape.

4.6-2 Log Homes

Milled “D” faced, square logs and round logs are preferred. Joint chinking should be a textured, flexible sealant (synthetic mortar) with a width between ¼” and 2”. The mortar should be an earth tone color.

4.6-3 Stone Siding

Natural stone siding is preferred over cultured stone. The stone pattern should simulate a dry-stack appearance without wide exposed mortar joints.

4.7 Roofs

In support of firewise construction techniques *Class A* roofing is required for all structures in Canyon Ridge. Roof pitches should be between 5/12 and 12/12 to mitigate snow loading. Mansard, gambrel, conical, or dome, roof styles are not allowed. Expansive roof areas should be articulated by gable or shed dormers. All roof edges shall have minimum 24” overhangs with exposed rafter tails or outriggers.

Vent stacks and vents should be painted to match the roof color. All roof flashing should be copper. Exposed galvanized or raw aluminum flashing is allowed.

Approved roof materials include: standing seam metal (24 gauge minimum), concrete shakes, cor-ten steel, flat concrete tiles, salvaged flat clay tiles, asphalt shingles, wood shakes. Corrugated metal roofs are not allowed. Standing seam metal roofs must be painted with non-reflective earth tone colors. Red, blue or other bright colored roofs will not be allowed. Gutters and downspouts shall be copper with natural patina or painted galvanized metal. Downspouts must discharge to a pipe directed to a cistern or to an area away from the home that will not create erosion. Samples of proposed roof materials must be submitted to the DRB for approval.

4.8 Entrances

The main entrance should be clearly recognizable and differentiated from other entrances in the home. It should be proportional to the house and cannot exceed one story in height. Porte cocheres are allowed provided that there is enough area for a proper vehicular turning radius.

4.9 Porches and Decks

Porches and decks should be integrated into the architecture of the house to take best advantage of orientation and views. Peeled log columns and rustic rail designs are encouraged. Porch depths should be a minimum of 8 feet. Decks with floor to ground cavities of 36” or more should consider skirting compatible with the deck and house materials. Approved deck and porch flooring materials are pressure treated wood or composite products (Trex or equivalent).

4.10 Exterior Colors

Exterior colors should be muted, earth tone colors that blend with the natural landscape punctuated with limited accent colors. No primary colors or strong light-to-dark contrasts are allowed. Colors should be flat and non-reflective. Sample swatches are required to be submitted to the DRB for all proposed exterior colors.

4.11 Doors, Windows, and Skylights

Main entry doors should accent the front entrance and be stained in a dark color. Doors with rustic, wood carved designs are encouraged. All exterior doors must be wood with a minimum width of 36". Windowed doors are allowed provided that a low reflectivity glass is used.

All windows must be rectangular or square in shape. Only divided light and fixed glass windows are allowed. Window headers must match the roof line or be level. Approved window materials are wood and wood clad. Vinyl and aluminum clad windows are acceptable provided that the color blends with the house siding. Window glass must not be highly reflective. All glass on west facing walls along the western boundary of Canyon Ridge must be anti-glare. Window shutters must match the window opening and should be fully operational. Awnings must be a neutral colored canvas and are not allowed on the front elevation. No window air conditioning units are allowed.

Skylights must be placed on the roof in an orderly arrangement that relates to the home's architecture. They must be a flat, low profile design with clear, grey, or bronze lenses that are not highly reflective. Bubble type skylights will be considered. The frames must be anodized or finished with non-reflective baked enamel compatible with the roof color.

4.12 Building Projections

All building projections e.g chimney caps, vents, gutters, downspouts, porches, railings, stairways, etc. must be integrated into the overall architecture of the home.

4.13 Garages

All homes must have an attached or detached garage to accommodate at least two but no more than four cars. The garage structure must be consistent with the design, materials, and colors of the main house. Attached garages should be absorbed into the architecture of the home and should not dominate or appear as an appendage that disrupts the home proportions. Each garage bay should be a minimum of 9 feet in width. No carports are allowed. Garage doors must be solid wood or wood clad overlay applied to standard segmented garage door panels. Garage doors cannot be over 9 feet in height.

4.14 Solar Structures

Passive solar applications are encouraged for all homes constructed in Canyon Ridge. Active solar is allowed provided that no collectors or other system components are visible from adjacent lots, roads, or common areas. These elements should be concealed within the architecture of the home. They must be flat roof panels that are placed to become an integral part of the roof design. They must not be placed on the front elevation roof surface.

4.15 Chimneys

The exposed portion of chimneys shall be finished in stone or stucco. All chimneys must have spark arrestors in a cowling or surround with a color compatible with the house. No unpainted aluminum shall be exposed on the exterior of the chimney. Chimneys, especially when venting wood stoves, should be inspected and swept frequently to prevent flue fires.

4.16 Pavilions

Pavilions and other outdoor architectural structures must be of wood construction and should be compatible with the design or the home. Roof materials should match the main house roof. Rustic styles are encouraged for these structures.

4.17 Generators

Permanent electrical generators are strongly encouraged for all homes in Canyon Ridge. They must be enclosed in an insulated structure with an access door. The generator should be placed in a well-ventilated area away from air intakes into the home. It should be located as close as possible to the house electrical service panel.

4.18 Water Conserving Appliances

Water conservation is an important principle in the Canyon Ridge land stewardship philosophy. In support of reducing water consumption low-flow appliances are required in all homes and community buildings in Canyon Ridge. Faucets, baths, showers, and faucets typically account for 2/3rds of the total home water demand. The maximum allowed flow rates for these fixtures are:

- Lavatory faucets- average flow rate ≤ 2.0 gpm
- Showers- average flow rate ≤ 2.0 gpm per stall
- Toilets- average flow rate ≤ 1.3 gpf

SECTION 5

CANYON RIDGE



Landscape Standards

Landscaping at Canyon Ridge should enhance and blend with the natural beauty of the land based on *firewise* and *xeriscape* principles. Landscaped areas should not appear contrived or follow geometric forms but rather appear to have occurred naturally over the years. This is achieved through the use of native rocks and plants in groupings that mimic natural vegetation growth patterns.

5.1 Firewise Landscaping

In support of the wildfire management program at Canyon Ridge firewise landscaping techniques are required.

5.1-1 Defensible Space

The key principle in firewise landscaping is the creation and maintenance of *defensible space* around the home. Defensible space is the area around a building where vegetation is managed to reduce wildfire threats to homes. It refers to the area between a house and an oncoming wildfire where vegetation has been modified to reduce the wildfire threat and to provide an opportunity for firefighters to effectively defend the house. A defensible space should be maintained for a minimum distance of 30 feet from the house walls on sites with slopes less than 20%. This distance could be up to 100 to 200 feet on sites with slopes greater than 20% depending on amount of native vegetation present. The local fire marshal should be consulted to help determine the proper distance for your lot.

The key principles in managing vegetation in defensible space are:

- Prevent any vegetation contact with any part of the home.
- Maintain separation between the canopies of needled evergreen trees (conifers).
- Avoid large continuous masses of vegetation. Create separate islands of vegetation.
- Use fire resistant plant materials in planted areas.
- Incorporate a diversity of plant types in the landscape.
- Prioritize irrigation for plants closest to the house.
- Use mulches to conserve moisture. Avoid pine bark, pine needles, or other highly flammable mulches. Hardwood chips, compost, and rock chips are recommended mulches.

5.1-2 Ladder Fuels

Vegetation is often present at varying heights, similar to the rungs of a ladder. Under these conditions, flames from fuels burning at ground level, such as a thick layer of pine needles, can be carried to shrubs which can ignite still higher fuel like tree branches. Vegetation that allows a fire to move from lower growing plants to taller ones is referred to as "ladder fuel". The ladder fuel problem can be corrected by providing a separation between the vegetation layers. Within the defensible space area, a vertical separation of three times the height of the lower fuel layer is recommended. For example, if a shrub growing adjacent to a large pine tree is three feet tall, the recommended separation distance would be 9 feet (3 ft. shrub height x 3 = 9 feet). This could be accomplished by removing the lower tree branches, reducing the height of the shrub, or both.

5.1-3 Firewise Vegetation

All vegetation including naturally occurring native plants and ornamental plants are potential wildfire fuel. Plants growing adjacent to a home can have considerable influence upon the home's survival in a fire. If vegetation is properly modified and maintained, a wildfire can be slowed, the length of flames shortened, and the amount of heat reduced. Fire resistant plant materials are required for all new landscape plantings. For more firewise plant information and a list of approved fire resistant plants see Appendix H.

5.1-4 Landscape Maintenance

Proper maintenance is essential for firewise landscapes. To maintain a firewise landscape the following items should be considered:

- Keep trees and shrubs pruned to maintain proper vertical separation (see 5.1-2) and to reduce fuel volume.
- Maintain grasses in the defensible space to a maximum height of 8”
- Remove the dried leaves from annuals and perennials when they go dormant.
- Remove leaf clutter, dead branches, and deadfall.
- Dispose of vegetative debris promptly. Do not allow brush piles to accumulate.
- Monitor and maintain the irrigation system.
- Store firewood away from the house.

5.2 Xeriscape Principles

A major part of the Canyon Ridge water conservation program is the application of Xeriscape principles to the landscape. Xeriscaping is a technique that reduces the need for supplemental water in the landscape. It is not a dry, desert-like landscape nor is it a maintenance free landscape. These landscapes incorporate naturally adapted plants, mulches for weed suppression and moisture conservation, and drip irrigation for water conservation. There are seven water conservation principles in xeriscaping:

5.2-1 Planning and Design

Landscapes should be planned in zones, referred to as *hydrozones*, ranging from high to low water requirements. Areas near entries and outdoor living areas, or *Oasis zones*, will require the most water and are therefore cooler and will have more plant variety and color. *Transistino zones* are further away from the outdoor living areas and require only moderate supplemental water and less maintenance. The further out and more natural areas are in the *low-water-use* zone and require only occasional supplemental water.

5.2-2 Drip Irrigation

Drip irrigation is the only supplemental watering systems allowed in Canyon Ridge. Drip systems conserve water because they slowly apply water through emitters at precisely controlled release rate. The water gradually infiltrates the soil around the root zone of the plants which reduces runoff and moisture loss through evaporation and wind as is the case with spray systems. It is highly recommended that treated wastewater (see section 1.4-4) and harvested rainwater be the primary water source for all irrigation systems. All irrigation systems must be automated and set to provide sufficient water for the landscape but no more than is absolutely necessary. Drip systems should be controlled by an automated controller mounted in an inconspicuous location. Drip irrigation systems require periodic filter servicing and emitters should be checked for clogging on a routine basis. They must be winterized prior to onset of freezing temperatures/

5.2-3 Mulch

Mulch should be applied to planting areas to reduce soil temperatures, reduce evaporation, and prevent erosion. It also limits weed growth which competes with landscape plants for moisture and nutrients. Plastic or other non-porous materials should not be used for weed control. Permeable weed control fabric, hardwood chips, and gravel are porous and allow air and water to reach the plant roots while limiting weed growth. Crushed rock mulch should only be used in shaded areas due to their retention of heat that can dry the soil.

5.2-4 Soil Preparation

Proper soil preparation is an essential part of any xeriscape program. The addition of compost in the oasis and transition zones is recommended to increase the moisture retention

capacity of the soils. In low-water-use zones amendments are generally not needed but roto-tilling may be necessary where soils are compacted to increase air and water infiltration. Soil tests in all planting are recommended to determine what amendments may be needed to optimize plant growth.

5.2-5 Grasses and Groundcovers

Grasses and groundcovers cool the environment, reduce erosion, and provide an aesthetic cover for barren areas. Cool season turf grasses should be used sparingly and only where they serve a useful purpose such as play areas. Native grasses and groundcovers planted under trees and shrubs will cool the soils, limit weed growth, and prevent erosion.

5.2-6 Low Water Use Plants

Selecting plants that require less water are an important part of any xeriscape. The higher moisture requirement plants should be planted in the limited area of the oasis zones. An ever increasing variety of flowering and fragrant plants are becoming available in the nursery trade for the low moisture zones. See Appendix I for a list of recommended low-water-use plants.

5.2-7 Maintenance

The degree of maintenance required for any landscape is determined at the design stage. Before deciding on a final landscape design the corresponding commitment to maintenance should be understood. Xeriscapes require the normal landscape maintenance activities such as pruning, weeding, debris removal, pest and disease control, and seasonal adjustments to the automated irrigation system.

5.3 Managed Natural Areas

Areas outside of the landscape areas should not be landscaped but managed as natural areas. These areas should remain in their natural state, however they should be managed to minimize fire hazards and maintain forest health. Walking trails and outdoor shelters are allowed in these areas with DRB approval.

5.4 Preservation of Vegetation

Mass clearing of vegetation is not allowed and no healthy tree over 6" in caliper can be removed without approval of the DRB. Normal thinning and pruning is permissible and encouraged.

5.5 Hardscapes

Hardscape surfaces such as walks or patio areas should be stone, gravel, stained and textured concrete, or natural colored pavers. No plain concrete or asphalt surfaces are allowed.

5.6 Landscape Features

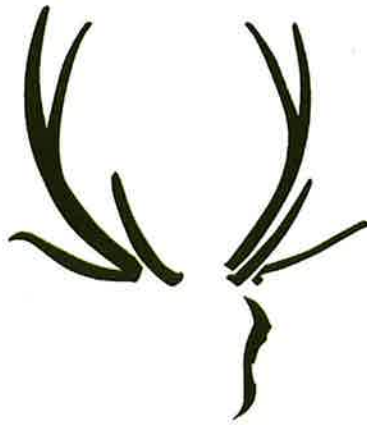
Landscape features such as planters, urns, benches, arbors, and statuary are permitted. The DRB reserves the right to limit the quantity, size, and type of landscape features placed on a lot. For example, large statuary(s), such as bronze wildlife sculptures, requires DRB approval if visible from adjacent properties, common areas, or roads.

5.7 Water Features

Water features in the landscape should be limited to small pools or fountains. Any outdoor feature loses water due to evaporation and wind so no large scale water features will be allowed.

SECTION 6

CANYON RIDGE



Construction Standards

In order to protect the environment and owners' enjoyment of their property and common areas Construction Standards have been created to regulate all construction activities at Canyon Ridge. Property owners are totally responsible for the conduct and behavior of their agents, representatives, builders, contractors, and guests while on Canyon Ridge property. Failure to comply with the Construction Guidelines, after written notification, may result in fines that will be deducted from the Construction Deposit or assessed in addition to the deposit.

6.1 Construction Regulations

The following Construction Standards shall be made a part of all construction contracts with builders, contractors, subcontractors, service providers, or others. All builders and contractors shall be bound by these standards and any violation shall be deemed a violation by the property owner. Construction activities will be monitored by the DRB or ranch manager and violations reported to the HOA Board of Directors. The property owner and builder will be notified in writing of the violation by the HOA and fines may be assessed if the violation is not rectified.

6.2 Construction Deposit

In order to assure compliance with the Construction Guidelines a Construction Deposit of \$1,500 in immediately available funds, shall be deposited with the HOA by the property owner or builder for each home or guest cottage to be constructed. The funds will be maintained in a non-interest bearing account. The DRB reserves the right to increase the amount of the Construction Deposit if a builder incurs excessive damages, or consistently damages any part of the development.

The Construction Deposit will be released, less any costs, damages, or any other amounts due the DRB pursuant to the Covenants and Design Guidelines upon satisfactory completion of construction, the issuance of a Canyon Ridge Construction Completion Certificate (see Appendix E), and removal of all temporary facilities (see section 6.8) from the lot. If the Construction Deposit is drawn down for fines or other costs during the construction process an additional deposit must be made by the builder or property owner, within 5 days of receipt of written notice, to reestablish the deposit to the original amount.

6.3 Violations

If a violation occurs the DRB, or ranch manager, will provide written notice to the owner and builder describing the violation, the location of the violation, the party responsible for the violation, the corrective action to be taken, and the deadline for completing the corrective action. If the corrective action is not completed to the DRB's satisfaction within the specified time a second notice will be sent to the owner and builder indicating the deficiencies in the corrective action, notice of the assessment of fines (see appendix K), and possibly the issuance of a Stop Work Order. The DRB reserves the right to perform the corrective action and assess the property owner for costs incurred if the corrective action is not completed by the builder within the stated deadline. The assessment for such cost will be 125% of the cost to the HOA for the corrective action. See Appendix K for a schedule of fines for construction violations.

6.4 Appeals

An owner may submit a written request for a hearing before a majority of the HOA Board of Directors for any violation notices, fines, or stop work orders. A hearing will be scheduled within 15 days of receipt of the written request.

6.5 Pre-construction Conference

Prior to the commencement of construction a pre-construction conference with the builder and the DRB, or the ranch manager, is required to review the Construction Guidelines.

6.6 Builder Qualifications

No builder can contract for any construction at Canyon Ridge until they have been approved by the DRB. Design and Builder Guild members are pre-approved. Non-guild members wishing to build at Canyon Ridge must apply to the DRB for approval. The approvals for non-guild builders are limited to a specific house on a specific lot. Any builder can make application to become a guild member. Approvals are based upon construction quality, customer satisfaction, and financial stability.

All builders and sub-contractors must meet all federal, state, and local licensing requirements and must provide proof of general liability insurance.

6.7 Occupational Safety and Health Act compliance

All builders, contractors, and sub-contractors must comply with applicable OSHA regulations at all times.

6.8 Temporary Facilities

Temporary facilities are those items that will reside on the lot during construction period and removed upon completion of construction. All temporary facilities must be removed from any lot within 15 days of receipt of a Construction Completion Certificate.

6.8.1 Construction Entrance

A gravel construction entrance shall be constructed at the construction traffic entrance on the lot prior to the commencement of any site work. The entrance shall be constructed of 4 minus rock, 14 feet wide x 50 feet long at a depth of 8". The entrance shall be maintained throughout the construction period with supplemental rock added as needed.

6.8-2 Construction Trailers

Construction office and storage trailers can be used and shall be placed in locations that are not highly visible from adjacent properties, common areas or roads. Office trailers should be secured with tie down strapping and earth anchors.

6.8-3 Trash Receptacles

All construction waste shall be placed in roll-back waste containers in a location accessible for pick-up but not highly visible from adjacent properties, common areas or roads. No food should be placed in the construction waste containers to prevent animal foraging. The containers must be emptied on a timely basis. No burning of debris is allowed on construction sites. Burying non-vegetative waste on the lot is prohibited.

6.8-4 Portable toilets

Portable toilets should be discretely located to minimize views from adjacent properties, common areas or roads. They must be serviced regularly so that no odors are detected.

6.8-5 Gates

A temporary security gate at the construction entrance is recommended. Gates must be steel or aluminum.

6.8-6 Tree Protection Fencing

The DRB will assess each lot during the site plan review process and determine where tree protection fencing is required. Tree protection fencing shall be orange, UV resistant poly barricade fabric on steel post @ 6 feet o.c.

6.8-7 Silt Fencing

Silt fencing shall be installed to protect vegetated areas, adjacent properties, common areas, and roads from siltation in areas subject to erosion

6.8-8 Signage

No signage can be placed on the lot other than the standardized Canyon Ridge project sign and permit box. The required permits shall be located inside the standardized permit box. No subcontractor or vendor signs are allowed.

6.9 Site Maintenance

All construction sites shall be maintained in a safe, neat and orderly manner at all times. Dirt, mud, and debris generated by construction activities shall be promptly removed from adjacent properties, common areas, and roads. Concrete washouts shall only occur in areas where the concrete can be buried without destroying vegetation.

6.10 Vehicles

6.10-1 Site Access

Prior to the commencement of construction the Builder must meet with the Canyon Ridge ranch manager to provide a list of contractors, vendors, and employees that will need access to the lot. Temporary construction passes will be issued for each person on the list which must hang on the rear view mirror the entire time the vehicle is on the property. All construction traffic must use Buckman Road to access the property unless the DRB or ranch manager allows access from the 512 entry road. Individual gate codes will be issued to all authorized contractors, employees, and vendors on the builder's authorized access list. The central security system software will monitor the activity of each gate code. All posted speed limits must be observed. Security, safety violations, or unsafe driving will result in the suspension of the offender's construction pass. Cars and motorcycles with loud mufflers are not allowed and playing loud music through the vehicle sound system is prohibited.

6.10-2 Parking

All construction vehicles shall park on the property in a designated parking area that has minimal impact on vegetation. Parking on road shoulders, adjacent properties, or common areas is not allowed. Changing oil or other vehicle maintenance activities is prohibited. Any repairs due to vehicular damage to vegetation on road surfaces, road shoulders, and any vegetation is the responsibility of the builder and property owner.

6.11 Material Deliveries

Deliveries to lots must be accessed through the construction entrance designated by the DRB or the ranch manager. The regulations described in section 6.10-1 apply to all deliveries. Any repairs due to delivery vehicle damage to vegetation on road surfaces, road shoulders, and any vegetation is the responsibility of the builder and property owner.

6.12 Materials Storage Areas

All construction sites must have a designated materials storage area that is located away from adjacent property lines and roads and minimizes disturbance to vegetation. The area shall be kept safe, neat and orderly at all times. The materials storage area must be indicated on the Site Plan drawings.

6.13 Excavation and Blasting

All blasting and excavation activities must be pre-approved by the ranch manager. If any blasting is to occur the ranch manager must be advised of such activities in advance to allow time to notify other Canyon Ridge owners and contractors. Blasting may only be done by licensed demolition personnel and all Federal, State, and local regulations must be followed. Evidence of the appropriate insurance coverage for these activities will be required.

6.14 Dust and Noise Control

The builder shall be responsible for controlling dust and noise on the construction site and any road that is impacted by construction activities or vehicles. Radios or other music devices must be kept at sound levels not audible from adjacent lots, common areas, or streets.

6.15 Firearms

The possession or discharge of any firearm by construction personnel anywhere in Canyon Ridge is prohibited.

6.16 Alcohol and Controlled Substances

The excessive consumption of alcohol or use of any controlled substances by construction personnel anywhere in Canyon Ridge is prohibited.

6.17 Fires and Flammable Materials

All flammable materials on construction sites shall be properly stored at all times and the accumulation of potentially flammable materials shall be prevented. A minimum of two 20 pound ABC rated fire extinguishers shall be kept on the site at all times.

6.18 Pets

No pets, especially dogs, may be brought to the site by construction personnel.

6.19 Protection of Property

Each property owner is responsible for the protection of all roads, common areas, lots, and community improvements during the construction period on their lot. Upon the completion of construction the builder shall clean the site and repair any damage to roads, vegetation, grades, drainage, or any other community facility.

6.20 Daily Operations

Construction hours for activities that do not generate any noise are between 30 minutes before sunrise and 30 minutes after sunset. Construction activities that generate noise such as sawing, hammering, earthwork, and concrete deliveries can only occur between the hours of 8:00 a.m. to 6:00 p.m. Monday thru Friday and 9:00 a.m. to 5:00 p.m. on Saturday. All noise generating activities are prohibited on Sundays and holidays.

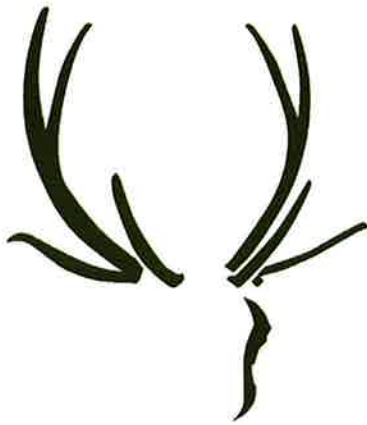
Visitors to construction sites shall be limited to those persons that have a role in the construction process such as tradesmen, building inspectors, security staff, DRB or HOA officials, sales staff, and owners and their guests.

6.21 Insurance Requirements

All companies and individuals engaged in construction activities must provide a Certificate of Insurance naming the lot owner, the Canyon Ridge POA, and Rare Earth New Mexico, LLC. (the developer) as certificate holders. The minimum limits of liability shall not be less than \$1,000,000 each for general liability and automobile liability. The certificate shall include a 30-day notice provision for certificate holders in the event of cancellation or a material change in the limits of coverage.

SECTION 7

CANYON RIDGE



Appendices

Appendix A



CONSTRUCTION PERMIT APPLICATION

LOT # _____

Date: _____

DRB Case # _____

Owner: _____	
Address: _____	

Phone: _____	Fax: _____
Email: _____	Mobile: _____

Architect: _____	
Address: _____	

Phone: _____	Fax: _____
Email: _____	State Registration # _____

Builder: _____	
Address: _____	
_____	Mobile: _____
Phone: _____	Fax: _____
Email: _____	State License # _____

Please ensure that the following documents are included with this application. One set of prints and a CD with electronic files is required for all plans.

- Plan Review Fee
- Site Plan
- Floor Plans
- Elevations
- Typical Deck/Porch Sections
- Exterior Details
- Product and Material Samples
- Landscape Plans

Received by: _____

Date: _____

Appendix B



SCHEDULE OF FEES

Construction Permit Applications

Single Family Residences

New Construction	\$500
Major Improvement	\$300
Minor Improvement	\$150

Major Design Change

New Construction	\$100
Improvement	\$100

Tap/Impact Fee \$13,500

Includes access to
Water/Shared Well,
Electric Power,
DSL Line and
Construction Vehicle
Roads Impact Fee

Construction Deposits

Single Family Residences

New Construction	\$1,500
Major Improvement	\$1,000
Minor Improvement	\$500

GPS Electronic File of Lot/Homesite \$200

Appendix C



CONSTRUCTION PERMIT
LOT # _____

Date of Issuance:
Property Owner:

Builder:
Architect:
Landscape Architect:
DRB Application #:

Site Plan

Approved for Construction: _____
Chairman, Canyon Ridge Design Review Board Date

Plan reference:
Plan Date:
Comment:

Architectural Plans

Approved for Construction: _____
Chairman, Canyon Ridge Design Review Board Date

Plan reference:
Plan Date:
Comment:

Landscape Plan

Approved for Construction: _____
Chairman, Canyon Ridge Design Review Board Date

Plan reference:
Plan Date:
Comment:

Construction of this residence is authorized by the Canyon Ridge Design Review Board subject to the approved plans and specifications referenced in this permit. Any changes or modification of the approved plans and specifications must be approved in writing by the Design Review Board.

Chairman, Canyon Ridge Design Review Board Date